



SURVEYOR'S OFFICE

# Hamilton County

*Kenton C. Ward, Surveyor*

Phone (317) 776-8495

Fax (317) 776-9628

*Suite 188*

*One Hamilton County Square  
Noblesville, Indiana 46060-2230*

August 19, 2005

TO: Hamilton County Drainage Board

RE: John Edwards Drain, Maple Knoll Section 2 Arm

Attached is a petition filed by Platinum Properties LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Maple Knoll Section 2 Arm, John Edwards Drain to be located in Washington Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	7,821 ft.	21" RCP	120 ft	36" RCP	502 ft.
12" RCP	909 ft.	24" RCP	423 ft.	42" RCP	494 ft.
15" RCP	632 ft.	27" RCP	180 ft.	48" RCP	103 ft.
18" RCP	884 ft.				

The total length of the drain will be 12,068 feet.

This proposed drain will reconstruct part of the offsite drain for Shamrock Springs Elementary School. With this reconstruction the outlet from the dry detention basin for the school, will be part of the John Edwards Drain, Maple Knoll Section 2 Arm. This will not change the current maintenance assessment for the Westfield Washington Schools, the Town of Westfield, or the County Highway for 161<sup>st</sup> Street. This new drain will add easement to parcel 08-09-10-00-003.101 owned by The Town of Westfield, 08-09-10-00-0022.001 owned by Westfield High School 1995 Building Corp., and 08-09-10-00-00-023.000 owned by Landco Hamilton LLC. The easement width for the regulated drain outside the Maple Knoll Section 2 plat shall be 15 feet from each side of the centerline of the pipe. The portion to become regulated drain is that portion shown as outlet to the basin shown on the plans for the school on sheet 3 and 3A as prepared by Weihe Engineers, job number 91-789. This will now terminate at Str. #234 of Maple Knoll Section 2.

The dry detention basin located at Shamrock Springs is not to be considered part of the regulated drain. Only the outlet will be maintained as part of the regulated drain. The maintenance of the dry detention basin will continue to be the responsibility of the School Corporation. The Board will however retain jurisdiction for ensuring the storage volume for which the basin was designed will be retained. Thereby, allowing no fill or easement encroachments.

The retention pond (lake #2) located in Common Area #9 is to be considered part of the regulated drain. Pond maintenance shall include the inlet, outlet, sediment removal and erosion control along the banks as part of the regulated drain. The maintenance of the pond (lake) such as mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond (lake) was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs. Only the main SSD lines which are located within the right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$10.00 per acre for common areas \$65.00 per platted lot, and minimum \$2.00 per acre for roadways. With this assessment the total annual assessment for this drain/this section will be \$2,157.00 for Section 2A and \$3,234.62 for Section 2B.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of a Performance Bond are as follows:

Agent: Bond Safeguard Insurance Company  
Date: February 14, 2005  
Number: 5015725  
For: Storm Drains and Erosion Control  
Amount: \$296,724.00

Parcels assessed for this drain may be assessed for the Little Eagle Creek Drain at sometime in the future.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement requests. The requests are for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for Maple Knoll Section 2A and 2B as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for January 23, 2006.



---

Kenton C. Ward  
Hamilton County Surveyor

KCW/pll

STATE OF INDIANA     )  
                                  )  
COUNTY OF HAMILTON )

TO: HAMILTON COUNTY DRAINAGE BOARD  
% Hamilton County Surveyor  
One Hamilton County Square, Suite 188  
Noblesville, IN. 46060-2230

In the matter of                                   Maple Knoll                                   Subdivision, Section  
                                  2                                   Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in                                   Maple Knoll, Section 2                                  , a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

**RECORDED OWNER(S) OF LAND INVOLVED**

  
Signed

Timothy J. Walter  
Printed Name

February 22, 2005  
Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

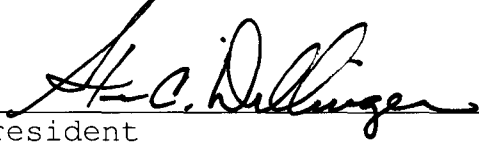
Date


**FINDINGS AND ORDER**  
**CONCERNING THE MAINTENANCE OF THE**  
**John Edwards Drain, Maple Knoll Section 2A**

On this **23rd day of January 2006**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **John Edwards Drain, Maple Knoll Section 2A**.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD

  
\_\_\_\_\_  
President

  
\_\_\_\_\_  
Member

  
\_\_\_\_\_  
Member

Attest: 

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

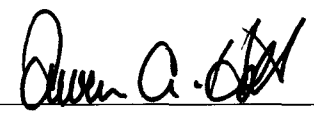
John Edwards Drain, Maple Knoll Section 2B

On this **23rd day of January 2006**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **John Edwards Drain, Maple Knoll Section 2B**.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD

  
\_\_\_\_\_  
President

  
\_\_\_\_\_  
Member

  
\_\_\_\_\_  
Member

Attest: 

**CERTIFICATE OF COMPLETION AND COMPLIANCE**

To: Hamilton County Surveyor

Re: Maple Knoll, Section 2

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature: Jeffery W. Darling Date: December 6, 2005

Type or Print Name: Jeffery W. Darling

Business Address: Stoepelwerth & Associates, Inc.

9940 Allisonville Road, Fishers, Indiana 46038

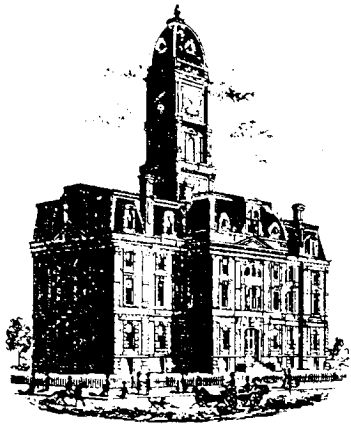
Telephone Number: (317) 849-5935

SEAL

INDIANA REGISTRATION NUMBER

900017





SURVEYOR'S OFFICE

# Hamilton County

*Kenton C. Ward, CFM*  
 Surveyor of Hamilton County  
 Phone (317) 776-8495  
 Fax (317) 776-9628

*Suite 188*  
 One Hamilton County Square  
 Noblesville, Indiana 46060-2230

**To: Hamilton County Drainage Board**

**February 1, 2007**

**Re: John Edwards Drain: Maple Knoll Section 2**

Attached are as-builts, certificate of completion & compliance, and other information for Maple Knoll Section 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 19, 2005. The report was approved by the Board at the hearing held January 23, 2006. (See Drainage Board Minutes Book 9 Pages 40-42)  
 The changes are as follows:

Structure:	Length:	Size	Material:	Up Invert:	Dn Invert	Grade:	Changes:
195-194	57	15	RCP	908.14	907.33	1.42	-17
194-194A	319	18	RCP	907.33	904.12	1.01	10
198-197	28	12	RCP	902.7	902.35	1.25	
197-196	161	18	RCP	902.35	897.07	3.28	
212-211	28	12	RCP	900.7	900.6	0.36	
211-209	32	15	RCP	900.6	899.45	0.47	
209-207	71	15	RCP	900.45	899.67	1.1	
210-209	28	12	RCP	900.62	900.45	0.61	
207-206	118	18	RCP	899.67	899.1	0.48	
206-205	28	21	RCP	899.1	898.93	1.04	
205-202	48	21	RCP	898.93	898.75	0.38	
203-202	107	12	RCP	902.21	898.75	3.23	-1
202-201	28	24	RCP	898.75	898.46	1.04	0
201-200	138	24	RCP	898.46	897.54	0.67	2
200-199	177	27	RCP	897.54	897	0.31	-3
193a-193b	43	21	RCP	895.49	895.05	1.02	-2
213-214	93	48	RCP	896.99	895.94	1.13	-10
218-217	138	15	RCP	898.34	896.89	1.05	0
217-216	28	18	RCP	896.89	896.65	0.86	0
216-215	156	18	RCP	896.65	894.45	1.41	0



239-238	60	12	RCP	906.59	905.94	1.08	-4
208-207A	59	12	RCP	909.88	909.41	0.8	-1
237-236	85	12	RCP	906.84	904.97	2.2	0
239-230	213	12	RCP	904.97	903	0.92	0
230-229	135	15	RCP	903	902.09	0.67	-1
229-228	34	15	RCP	902.09	901.62	1.38	0
228-225	140	15	RCP	901.62	899.25	1.69	0
225-224	115	18	RCP	899.25	898.02	1.07	3
224-221	82	24	RCP	898.02	897	1.24	-1
221-226	175	24	RCP	897	896.51	0.28	-1
223-222	28	12	RCP	900.35	899.71	2.29	0
222-221	207	12	RCP	899.71	897	1.31	0
234-233	93	42	RCP	898.7	897.3	1.51	0
233-232	30	42	RCP	897.3	896.92	1.27	0
232-231	166	42	RCP	896.92	896.58	0.2	0
227-227A	58	12	RCP	897.65	896.57	1.86	-1
E3-E2	88	36	RCP				18
E2-E1	185	36	RCP				-5
E1-234	134	36	RCP				4
E4-E5	219	42	RCP				14

**6" SSD Streets:**

Hadleigh Pass	1749
Dursley Ct	691.5
Bromley Way	421.5
Matlock Cir	307.5
Hadleigh Ct	634.5
x2	

**Total:** 7608

**RCP Pipe Totals:**

12	901
15	607
18	897
21	119
24	423
27	177
36	407
42	508
48	93

**Total:** 4132

The length of the drain due to the changes described above is now **11,740 feet**.

The non-enforcement was approved by the Board at its meeting on January 23, 2006 and recorded under instrument #200600004929, #20060004902.

The following sureties were guaranteed by Bond Safeguard Insurance Company and released by the Board on its October 9, 2006 meeting.

**Bond-LC No:** 5015725

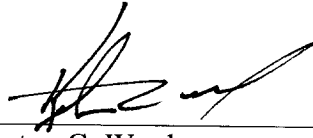
**Insured For:** Storm Sewers, Erosion Control, Monuments & Markers

**Amount:** \$296,274.00

**Issue Date:** February 14, 2005

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kenton C. Ward', written over a horizontal line.

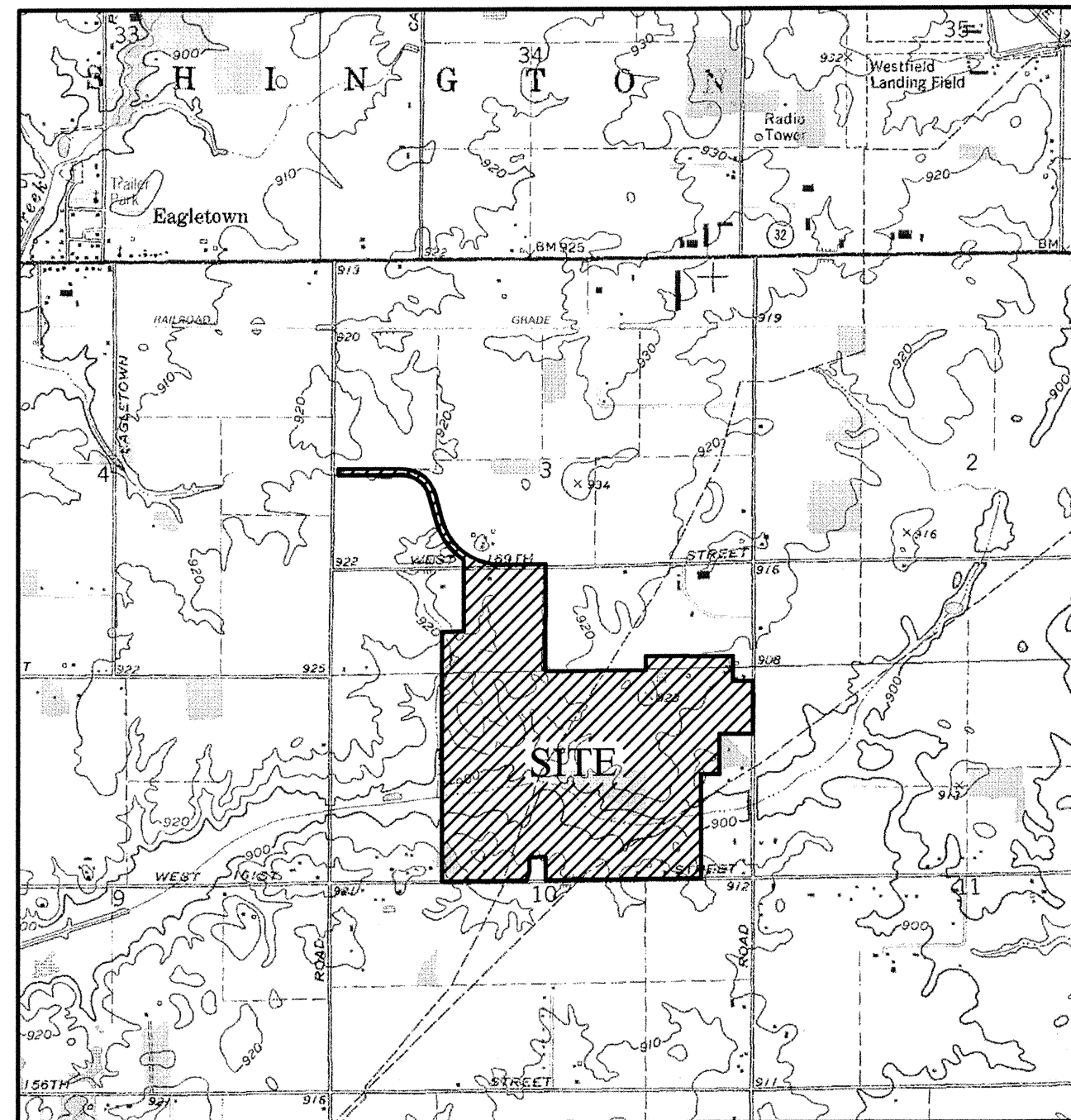
Kenton C. Ward,  
Hamilton County Surveyor

KCW/slm

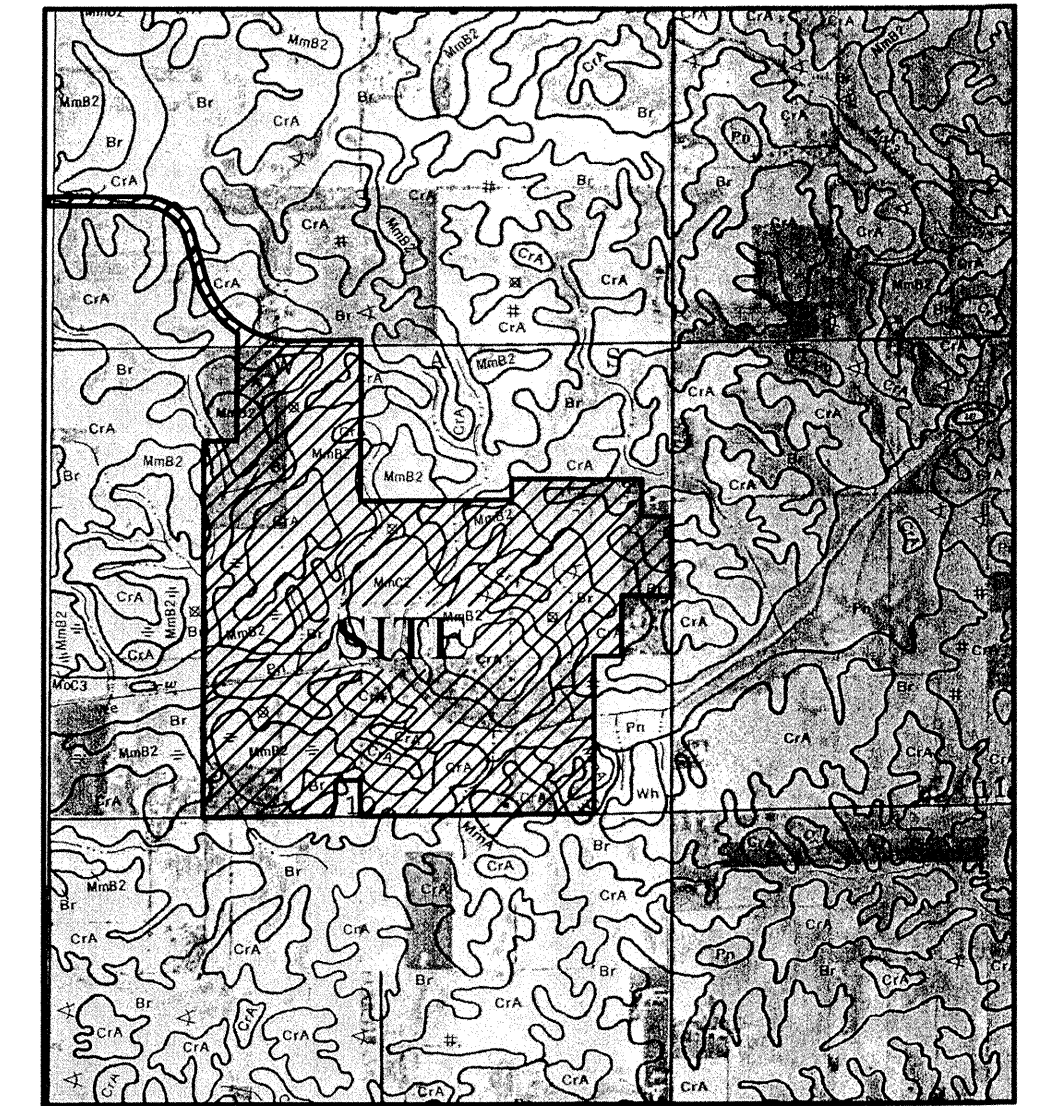
# MAPLE KNOLL

## SECTION TWO

Developed by:  
 PLATINUM PROPERTIES L.L.C.  
 9551 DELEGATES ROW  
 INDIANAPOLIS, INDIANA 46240  
 PHONE: (317) 818-2900  
 FAX: (317) 818-2910  
 CONTACT PERSON: TIM WALTER



LOCATION MAP



SOILS MAP

Br BROOKSTON  
 CrA CROSBY  
 MmB2 MIAMI (2 TO 6% SLOPE)  
 Pn PATTON

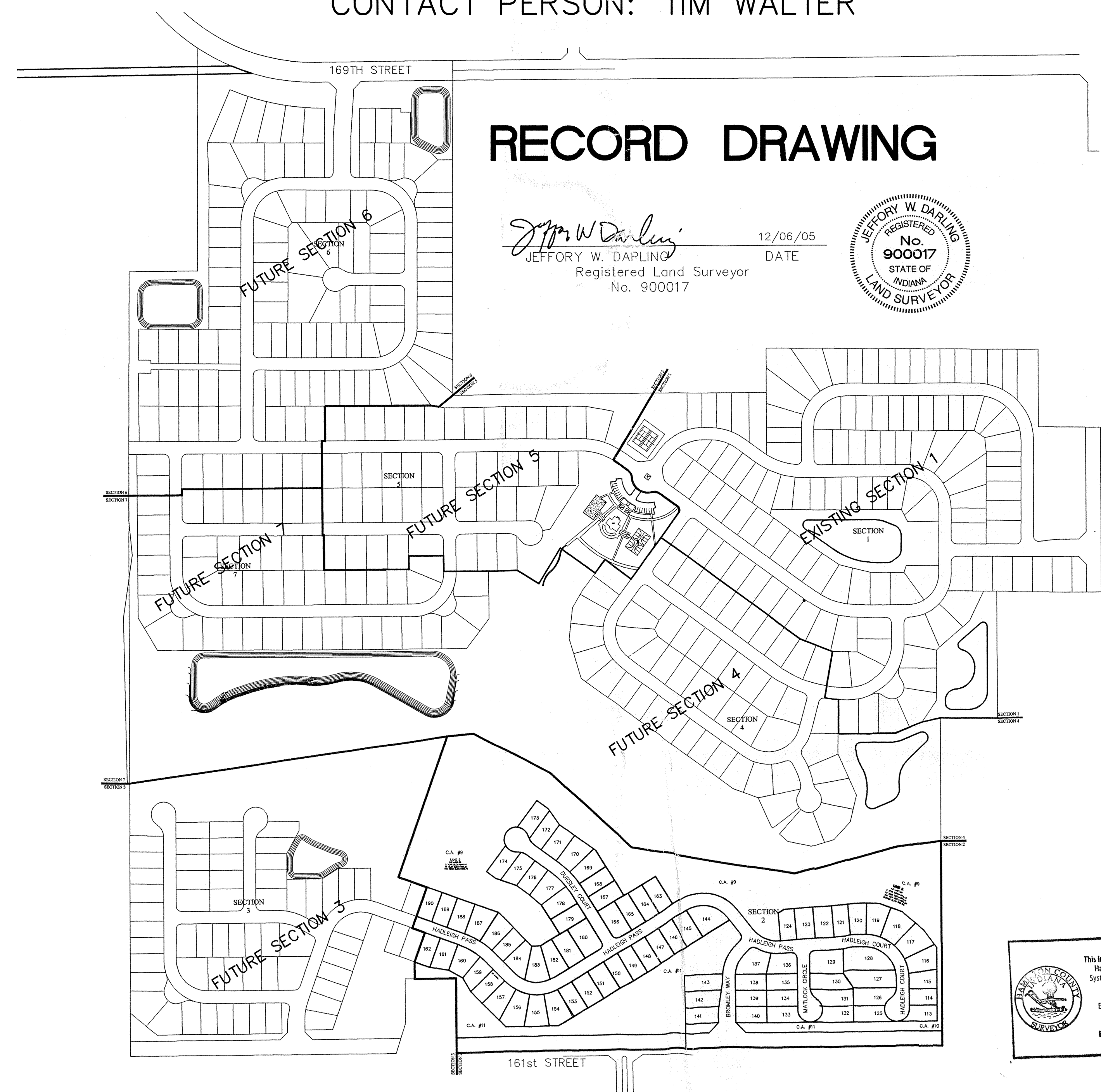
SPEED LIMIT: 25 M.P.H.

DESIGN DATA

78 LOTS = 1.823 LOTS/ACRE  
 42.798 AC.  
 STREET A 2488.69 L.F.  
 STREET B 320.87 L.F.  
 STREET C 473.85 L.F.  
 STREET D 633.13 L.F.  
 TOTAL: 3916.54 L.F.

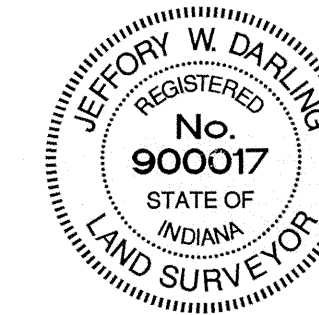
INDEX	
SHT.	DESCRIPTION
C001	COVER SHEET
C100	TOPOGRAPHICAL SURVEY
C200-C202	SITE DEVELOPMENT PLANS/HOUSE HANDING PLAN
C300-C301	EROSION CONTROL PLANS & SPECIFICATIONS
C400-C406	STREET PLAN & PROFILES / ENTRANCE DETAIL / INTERSECTION DETAILS TRAFFIC PLAN / TRAFFIC MAINTENANCE PLAN
C500-C502	SANITARY SEWER PLAN & PROFILES
C600-C601	STORM SEWER PLAN & PROFILES
C700-C701	WATER PLANS / WATER DETAILS
C800-C802	CONSTRUCTION DETAILS SANITARY STORM STREET

REVISIONS	
SHT.	DESCRIPTION
ALL	REV. PER LAYOUT CHANGES AND TAC COMMENTS 10/22/04 BAH
ALL	REV. PER DEVELOPER REQUEST 12/2/04 BMK
ALL	REV. PER DEVELOPER REQUEST 2/28/05 EEF
SECTION 1 SECTION 2 SECTION 3 SECTION 4 SECTION 5 SECTION 6	AS BUILT 12/06/05 RKG
** HAMILTON COUNTY SURVEYOR AND W.P.W. APPROVED**	



### RECORD DRAWING

*Jeffery W. Dapling*  
 JEFFERY W. DAPLING  
 Registered Land Surveyor  
 No. 900017  
 12/06/05  
 DATE

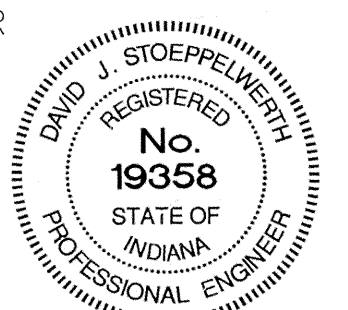
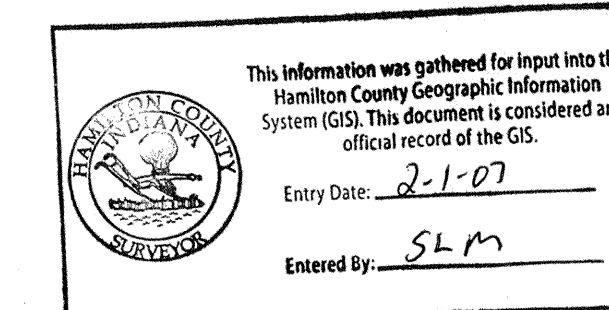


SCALE: 1"=300'

PLANS PREPARED BY:  
 STOEPPELWERTH & ASSOCIATES, INC.  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 9940 ALLISONVILLE ROAD  
 FISHERS, INDIANA 46038  
 PHONE: (317)-849-5935  
 FAX: (317)-849-5942

PLANS CERTIFIED BY:

*David J. Stoepfelwerth* 8/17/04  
 DAVID J. STOEPPELWERTH DATE  
 PROFESSIONAL ENGINEER  
 NO. 19358



# RECORD DRAWING

*Jeffrey W. Darling*  
 JEFFREY W. DARLING  
 Registered Land Surveyor  
 No. 900017

12/02/05  
 DATE



NOTE TO CONTRACTOR:  
 CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

### REFERENCE BENCHMARK

B 112 - A STANDARD DISK, STAMPED "B 112 1946" AND SET IN THE TOP OF A CONCRETE POST PROJECT 5" ABOVE GROUND, LOCATED ALONG S.R. 32 AND 0.25 MILES EAST OF CASEY ROAD, 24 FEET NORTH OF THE CENTERLINE OF SAID HIGHWAY, 167 FEET EAST OF THE CENTERLINE OF THE DRIVEWAY LEADING TO H.J. MATTHEWS FARM HOUSE, 75 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF A BARN, 4 FEET EAST OF A FENCE CORNER POST. (FOR THE NGS DATA SHEET VISIT: WWW.NGS.NOAA.GOV/CGI-BIN/DATASHEET.PRL)

ELEVATION: 924.24 (NAVD 88)

TBM - NO.2

A RAILROAD SPIKE, UP 1 FEET ± ON THE WEST SIDE OF A POWER POLE (THERE IS A RAILROAD SPIKE ON THE EAST SIDE OF POWER POLE NOT FOR THIS JOB), LOCATED ALONG THE WEST SIDE OF SPRINGMILL ROAD AND 0.35 MILES NORTH OF 161 ST.

ELEVATION: 905.63' (NAVD 88)

TBM - NO.3

A RAILROAD SPIKE, UP 1 FEET ± ON THE NORTH SIDE OF POWER POLE # 060-700, LOCATED ALONG THE SOUTH SIDE OF 161 ST. AND 0.3 MILES WEST SIDE OF SPRINGMILL ROAD.

ELEVATION: 913.16' (NAVD 88)



SCALE: 1" = 60'

### LEGEND

- 848 — EXISTING CONTOUR
- 848 — EXISTING SANITARY SEWER
- 848 — EXISTING STORM SEWER
- 848 — PROPOSED GRADE
- 848 — PROPOSED CONTOUR
- 848 — PROPOSED SANITARY SEWER
- 848 — PROPOSED STORM SEWER
- 848 — PROPOSED SWALE
- 848 — PROPOSED 5' SIDEWALK (BY HOME BUILDER)

- L.O. DENOTES "LOOK-OUT" LOTS
- 700 LOT NUMBER
- 897.4 PAD ELEVATION
- PAD SIZE 55'x60'
- W.O. DENOTES "WALK-OUT" LOTS
- T.O.W. DENOTES MIN. TOP OF WALL GRADE
- F.P.G. DENOTES FLOOD PROTECTION GRADE (MIN. OPENING AROUND HOME)

ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.

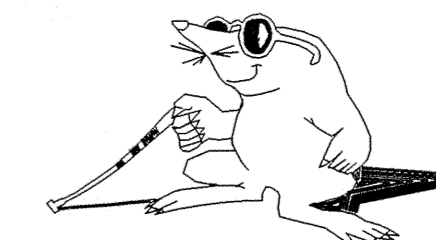
- 848 — PROPOSED 6" UNDERDRAINS
- | 4" S.S.D. LATERALS

### GENERAL NOTES:

- 1.) 5' CONCRETE WALK ACROSS THE FRONTAGE OF ANY COMMON AREAS TO BE INSTALLED BY THE DEVELOPER OR THEIR REPRESENTATIVE.
- 2.) BLUE REFLECTORS SHALL BE INSTALLED IN THE CENTER LINE OF THE PAVEMENT TO MARK FIRE HYDRANTS PER THE TOWN OF WESTFIELD'S UTILITY AND INFRASTRUCTURE CONSTRUCTION STANDARDS.

NOTE: DECORATIVE SIGNS, SPRINKLER SYSTEMS, TREES, LANDSCAPING MOUNDS, LIGHT POLES, OR OTHER SUCH AMENITIES ARE NOT PERMITTED IN THE RIGHT OF WAY.

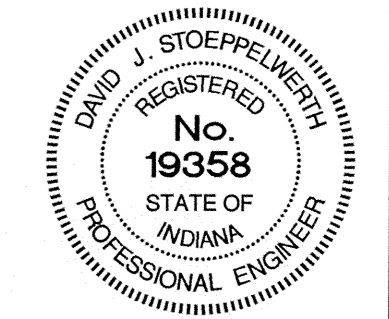
"HOLEY MOLEY" SAYS:



### CAUTION

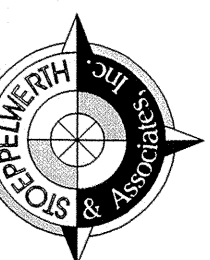
LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE, (INCLUDING BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, & MARKS MADE UPON THE GROUND BY OTHERS.) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-382-5544  
 CALL TOLL FREE  
 1-800-428-5200  
 FOR CALLS OUTSIDE OF INDIANA



CERTIFIED: 8/17/04  
*David J. Stoppewest*

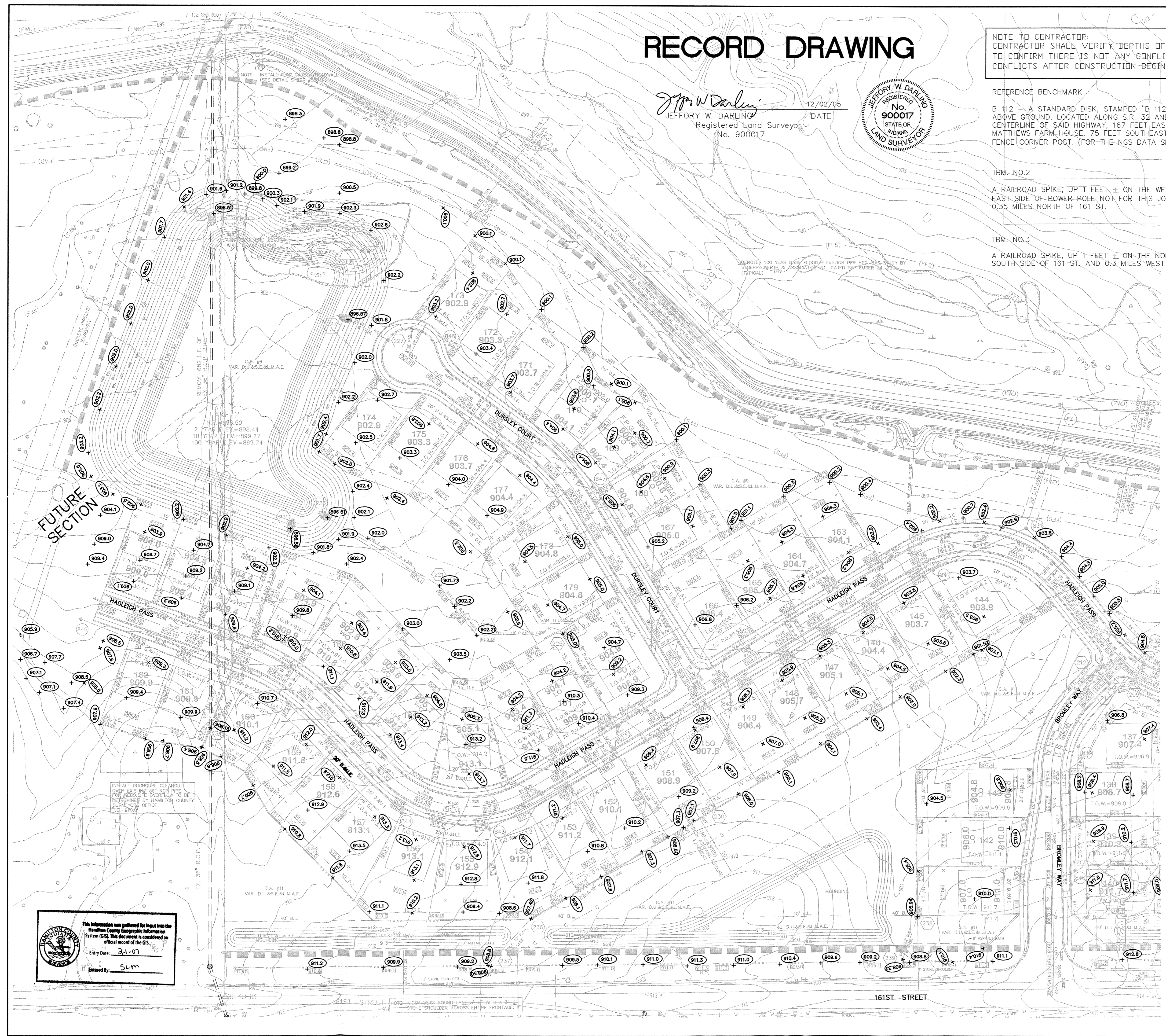
CONSULTING ENGINEERS - LAND SURVEYORS  
 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942  
 INDIANAPOLIS INDIANA



INDIANA  
 WESTFIELD  
**SITE DEVELOPMENT PLAN**  
**MAPLE KNOLL, SECTION TWO**

SHEET NO.  
**C200**

JOB NO. 34676PLA-S2



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
 Entry Date: 2-1-07  
 Entered By: SLM

REV	DATE	DESCRIPTION
1	12/02/05	AS BUILT
2	7/22/06	REVISED PER DEVELOPER
3	7/29/05	REVISED PER DEVELOPER
4	7/29/05	ADD NEW STREET GRASS AND GAS LINE
5	7/29/05	ADD NEW ABOUT STRUCTURE OVER PIPE
6	7/29/05	REMOVE SSI LATERALS
7	7/29/05	REMOVE PER DEVELOPER REQUEST
8	10/22/04	REV. PER LAYOUT CHANGES AND TAC COMMENTS

OWN BY	DATE	MARK
BAH	8/17/04	
OK BY		
EEF		
SCALE	1"=60'	

REVISIONS

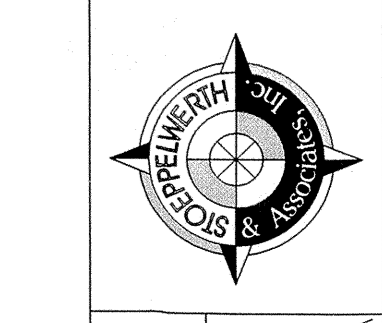
DATE

BY

REVISED PER DEVELOPER	7/28/05	DATE	8/17/04
REVISED PER DEVELOPER	7/22/05	DATE	8/17/04
REV. STREET GRABES, ARNOLD GAS LINE	4/28/05	DATE	8/17/04
REV. NOTES, STR. 193A, 194, 193B-REV. 201'S	1/22/04	DATE	8/17/04
REV. PER DEVELOPER REQUEST	12/22/04	DATE	8/17/04
REV. PER LAYOUT CHANGES AND TAG COMMENTS	10/22/04	DATE	8/17/04

CERTIFIED: 8/17/04  
 David J. Stappeler  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 19358  
 STATE OF INDIANA

CONSULTING ENGINEERS - LAND SURVEYORS  
 INDIANAPOLIS, INDIANA  
 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942



SITE DEVELOPMENT PLAN  
 MAPLE KNOLL, SECTION TWO  
 WESTFIELD, INDIANA

SHEET NO. C201  
 JOB NO. 34676PLA-S2

NOTE TO CONTRACTOR:  
 CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

REFERENCE BENCHMARK

B 112 - A STANDARD DISK, STAMPED "B 112 1946" AND SET IN THE TOP OF A CONCRETE POST PROJECT 5" ABOVE GROUND, LOCATED ALONG S.R. 32 AND 0.25 MILES EAST OF CASEY ROAD, 24 FEET NORTH OF THE CENTERLINE OF SAID HIGHWAY, 167 FEET EAST OF THE CENTERLINE OF THE DRIVEWAY LEADING TO H.J. MATTHEWS FARM HOUSE, 75 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF A BARN, 4 FEET EAST OF A FENCE CORNER POST. (FOR THE NGS DATA SHEET VISIT: WWW.NGS.NOAA.GOV/CGI-BIN/DATASHEET.PRL)

ELEVATION: 924.24 (NAVD 88)

TBM. NO.2

A RAILROAD SPIKE, UP 1 FEET ± ON THE WEST SIDE OF A POWER POLE (THERE IS A RAILROAD SPIKE ON THE EAST SIDE OF POWER POLE NOT FOR THIS JOB), LOCATED ALONG THE WEST SIDE OF SPRINGMILL ROAD AND 0.35 MILES NORTH OF 161 ST.

ELEVATION: 905.63' (NAVD 88)

TBM. NO.3

A RAILROAD SPIKE, UP 1 FEET ± ON THE NORTH SIDE OF POWER POLE # 060-700, LOCATED ALONG THE SOUTH SIDE OF 161 ST. AND 0.3 MILES WEST SIDE OF SPRINGMILL ROAD.

ELEVATION: 913.16' (NAVD 88)

AS BUILT  
 STORM TABLE

Str. No.	Type	Tc/Rim	Inverts	Dir.
191	CONCRETE END SECTION		895.96	(S)
192	YARD INLET	906.00	901.80	(S,N)
193	YARD INLET	908.00	904.15	(N,S,W)
194	YARD INLET	909.93	907.33	(N,S,W)▲
194A	CONCRETE END SECTION		904.12	(S)
195	CONCRETE END SECTION▲		908.14	(E)
196	CONCRETE END SECTION		897.07	(SW)
197	CURB INLET	906.38	902.35	(NE,SW)
198	CURB INLET	906.34	902.70	(NE,SW)
199	CONCRETE END SECTION		897.00	(SW)
200	MANHOLE	901.09	897.54	(NE,S)
201	CURB INLET w/MH	904.45	898.46	(N,S)
202	CURB INLET w/MH	904.50	898.75	(N,S,W,SE)
203	MANHOLE	905.72	902.21	(NW,S)
204	YARD INLET	906.00	903.00	(N)
205	CURB INLET w/MH	904.36	898.93	(NE,W)
206	CURB INLET w/MH	904.34	899.10	(E,W)
207	YARD INLET	904.49	899.67	(NW,E,S)
207A	CONCRETE END SECTION *		909.41	(S)
208	MANHOLE	911.48	909.41	(N)
209	CURB INLET w/MH	904.51	900.45	(NE,W,SE)
210	CURB INLET	904.48	900.62	(SW)
211	CURB INLET	904.21	900.60	(NW,E)
212	CURB INLET	904.13	900.70	(SE)
213	CONCRETE END SECTION *		896.99	(NW)
214	CONCRETE END SECTION **		895.94	(SE)
215	CONCRETE END SECTION		894.45	(S)
216	CURB INLET w/MH	902.20	896.65	(N,SE)
217	CURB INLET w/MH	902.31	896.89	(NW,SE)
218	YARD INLET	901.52	898.34	(NW)
220	CONCRETE END SECTION *		896.00	(N)
221	YARD INLET	901.77	896.77	(NW,NE,SE)
222	CURB INLET	903.65	899.71	(NE,SW)
223	CURB INLET	903.53	900.35	(SW)
224	YARD INLET	902.21	898.02	(NW,E)
225	YARD INLET	903.01	899.25	(W,SE)
226	CONCRETE END SECTION		896.50	(SE)
227	CURB INLET	901.45	897.65	(NW)
227A	CONCRETE END SECTION		896.57	(SE)
228	CURB INLET w/MH	907.76	901.62	(NW,E)
229	CURB INLET w/MH	908.14	902.09	(W,SE)
230	YARD INLET	906.60	903.00	(NW)
231	CONCRETE END SECTION		896.58	(SW)
232	CURB INLET w/MH	908.22	896.92	(NE,SW)
233	CURB INLET w/MH	908.14	896.92	(NE,SW)
234	YARD INLET	908.15	897.70	(NW,NE,SE)
234A	YARD INLET	908.00	897.08	(NW)
235	YARD INLET	907.00	904.00	(SW)
236	YARD INLET	907.42	904.97	(SW)
237	YARD INLET	908.50	906.84	(NE)
238	CONCRETE END SECTION		905.94	(S)
239	YARD INLET	908.33	906.59	(N)
193A	CONCRETE END SECTION *		905.49	(N)
193B	CONCRETE END SECTION		905.05	(S)

- GENERAL NOTES:
- 5' CONCRETE WALK ACROSS THE FRONTAGE OF ANY COMMON AREAS TO BE INSTALLED BY THE DEVELOPER OR THEIR REPRESENTATIVE.
  - A CONCRETE COLLAR IS REQUIRED ON EXISTING PIPE NORTH TO STRUCTURE 194.
  - BLUE REFLECTORS SHALL BE INSTALLED IN THE CENTER LINE OF THE PAVEMENT TO MARK FIRE HYDRANTS PER THE TOWN OF WESTFIELD'S UTILITY AND INFRASTRUCTURE CONSTRUCTION STANDARDS.

NOTE: DECORATIVE SIGNS, SPRINKLER SYSTEMS, TREES, LANDSCAPING MOUNDS, LIGHT POLES, OR OTHER SUCH AMENITIES ARE NOT PERMITTED IN THE RIGHT OF WAY.

- LEGEND
- EXISTING CONTOUR
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - PROPOSED GRADE
  - PROPOSED CONTOUR
  - PROPOSED SANITARY SEWER
  - PROPOSED STORM SEWER
  - PROPOSED SWALE
  - PROPOSED 5' SIDEWALK (BY HOME BUILDER)

- L.O. DENOTES "LOOK-OUT" LOTS
- 700 LOT NUMBER
- 897.4 PAD ELEVATION
- 55'x60' PAD SIZE
- W.O. DENOTES "WALK-OUT" LOTS
- T.O.W. DENOTES MIN. TOP OF WALL GRADE
- F.P.G. DENOTES FLOOD PROTECTION GRADE (MIN. OPENING AROUND HOME)

ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.

- PROPOSED 6" UNDERDRAINS
- 4" S.S.D. LATERALS

Note to Contractor:

Any surface water pipe that will be utilized to carry water can remain and will be repaired as necessary by Platinum Properties to make them function properly and prevent erosion of the channel (opposite bank rip-rap where needed). Any surface pipe that is not utilized will be removed and the bank will be restored to existing conditions.

Any existing private tile outleting into the ditch will be traced and removed or crushed in place if it does not leave the boundaries of the project. If the tile extends beyond the boundaries of the site, the tile must be connected into the drainage system with a positive outlet. The one exception to this would be the tile that runs from the first North of the Edwards Drain on Springmill Road, within the high pressure gas line easement. This tile can be left in place but must be repaired if it is damaged during construction activities.

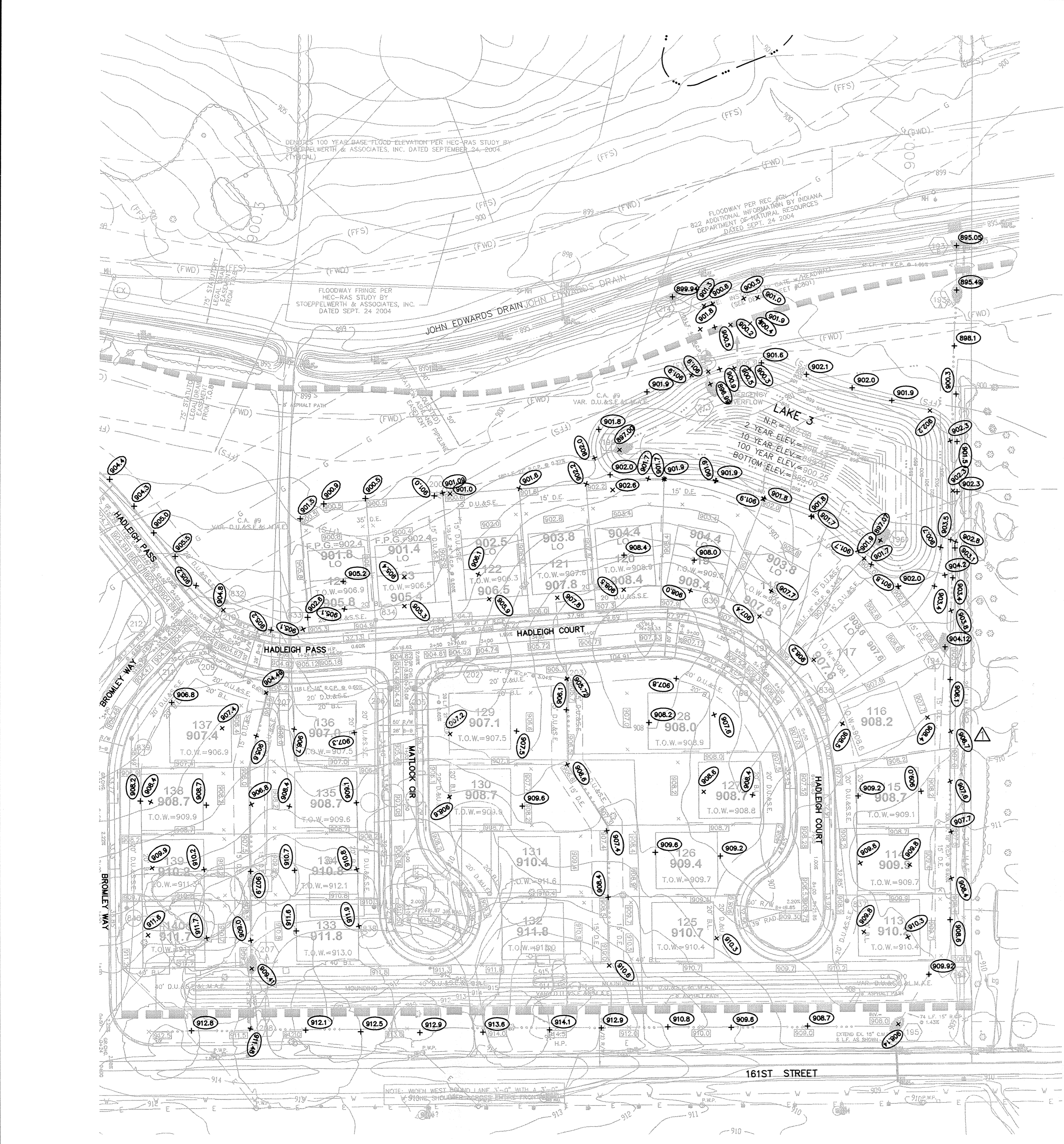
The first existing crossing West of Springmill Road has been crushed by construction activity and MUST be removed in a timely manner to prevent up stream flooding during a heavy rain event. This crossing can be replaced in the future with a crossing design that has been approved by the HCSO.

The existing rock chute West of the above mentioned crossing will be utilized for an outlet for the proposed development. The outlet pipe must be extended all the way to the flowline and the existing rock chute is to be removed. The existing bank is to be filled and stabilized in line with the rest of the bank along this stretch of ditch.

Since the private drain tile from Shamrock Springs Elementary will become part of the regulated drain and utilized as an outlet for the development, bank armoring will be required in the stream channel as per HCSO Standard Detail 0-4.

The Hamilton County Surveyor's Office would like to ask that since Platinum Properties will have the equipment onsite and since the sediment in the Edwards Drain downstream of Springmill Road came from the work done in Countryside, that you removed any sediment in the channel on the parcel not controlled by Platinum Properties, working under the direction of our office.

The HCSO would like to see the existing filter strips left in place but we understand you would like to finish mow all the way to the top of the bank. This office is acceptable with this and will consider any improvement you would like to do to beautify the banks, but no filling in the floodplain will be allowed or anything that would impede the flow through the ditch.



SCALE: 1" = 60'

RECORD DRAWING

Jeffery W. Darling  
 Registered Land Surveyor  
 No. 900017



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
 Date: 2-1-07  
 SLM

"HOLEY MOLEY" SAYS:  
 1-800-382-5544  
 CALL TOLL FREE  
 1-800-428-5200  
 FOR CALLS OUTSIDE OF INDIANA

CAUTION  
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE, INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, & MARKS MADE UPON THE GROUND BY OTHERS. AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

**NOTES**

FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED ON ALL SEWER LATERAL STREET CROSSINGS & COMPACTED PER I.D.O.H. STANDARDS.

MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.

CONTRACTOR SHALL EXTEND SEWER LATERALS THRU EASEMENTS AS SHOWN.

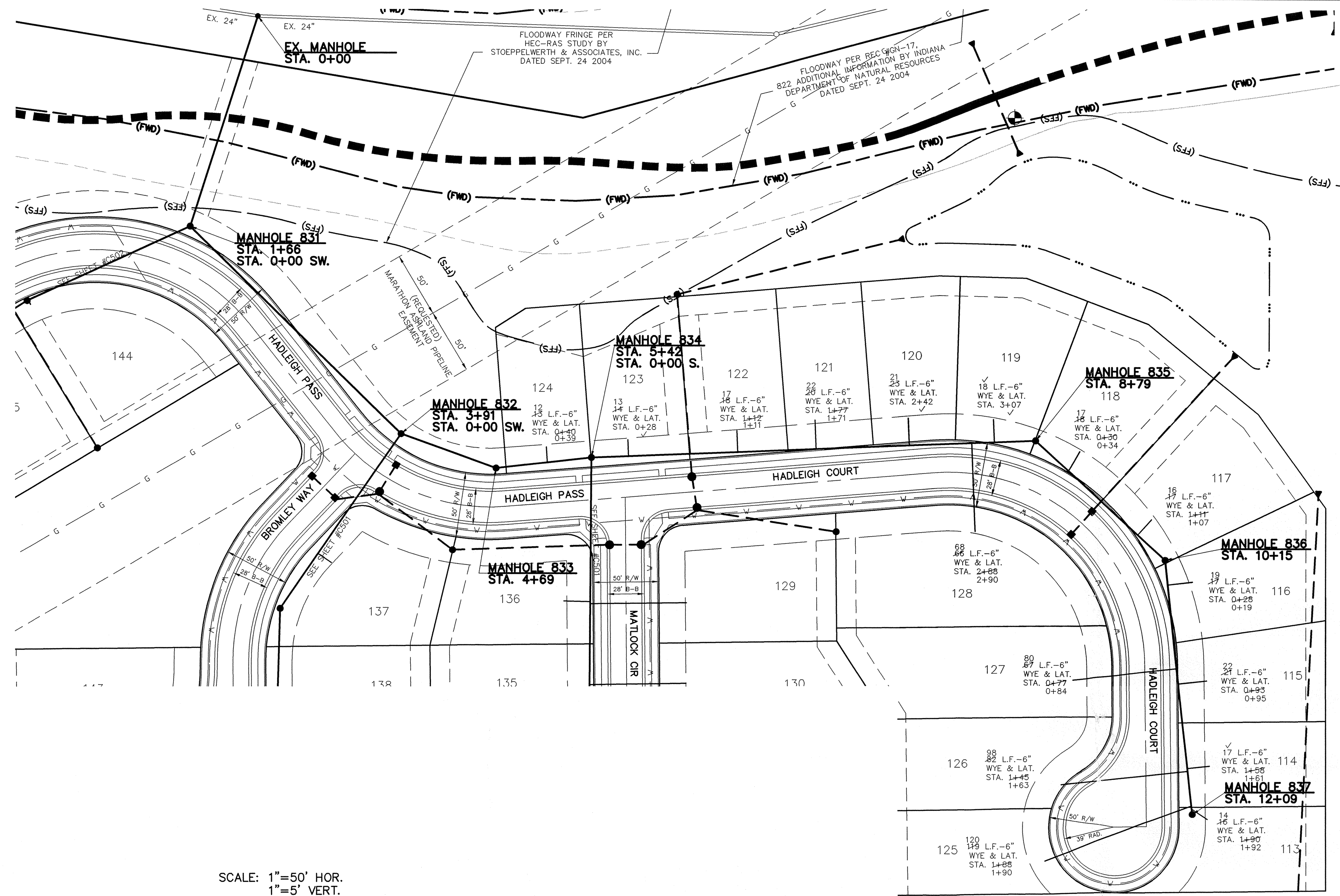
CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.

MANHOLE STRUCTURES TO BE CONSTRUCTED TO REQUIRE 1-4" RISER RING NO MORE, NO LESS TO MEET PLAN T.C. GRADE.

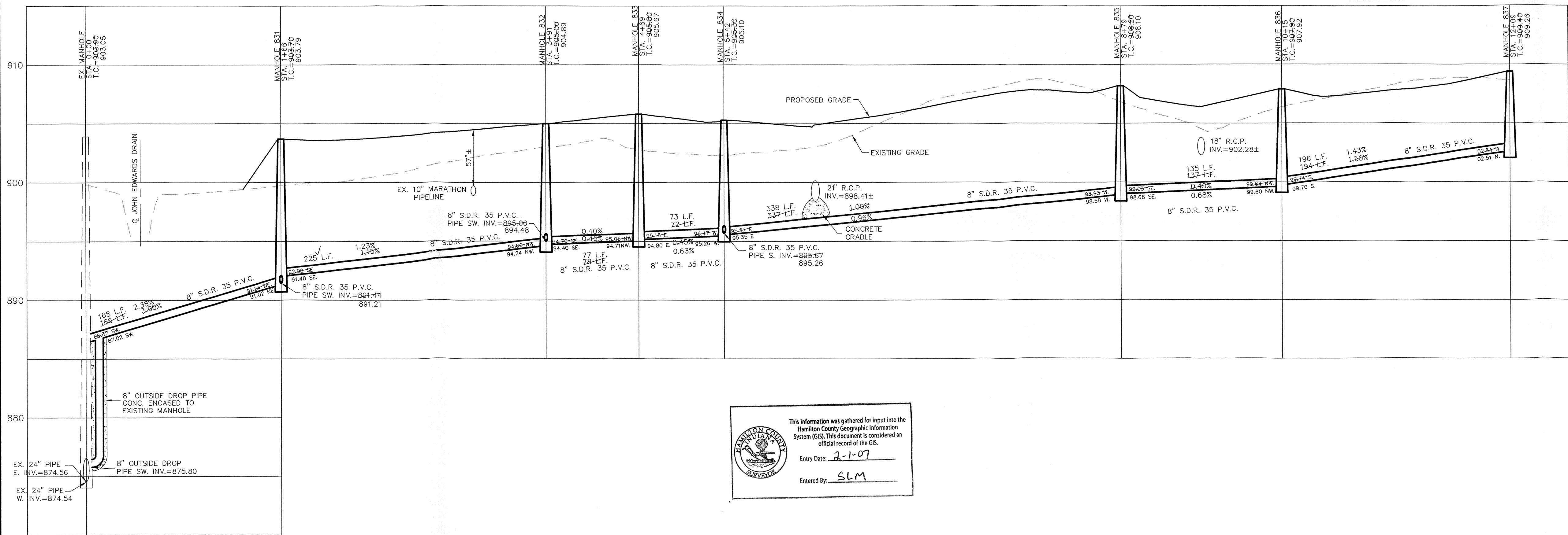
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*Jeffery W. Darling*  
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 Registered Land Surveyor  
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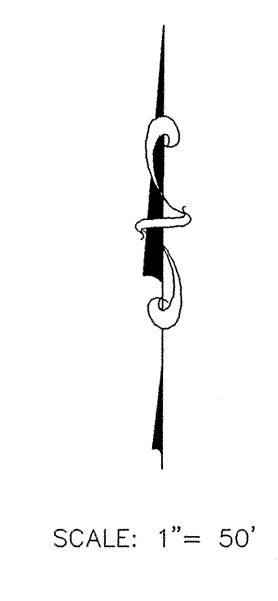
12/06/05  
 DATE



SCALE: 1"=50' HOR.  
 1"=5' VERT.

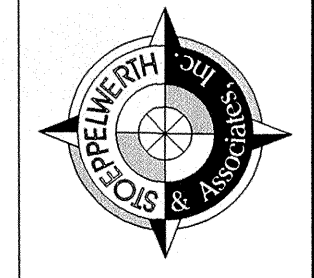


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 Entered By: SLM



DATE	REVISIONS
8/17/04	
12/22/04	
12/2/04	
12/09/05	
AS BUILT	
REV. PER DEVELOPER REQUEST	
REV. PER LAYOUT CHANGES AND TAC COMMENTS	
DATE	MARK
BY	
BAH	
BAH	
BY	

CERTIFIED: 8/17/04  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942  
 INDIANA  
 FISHERS

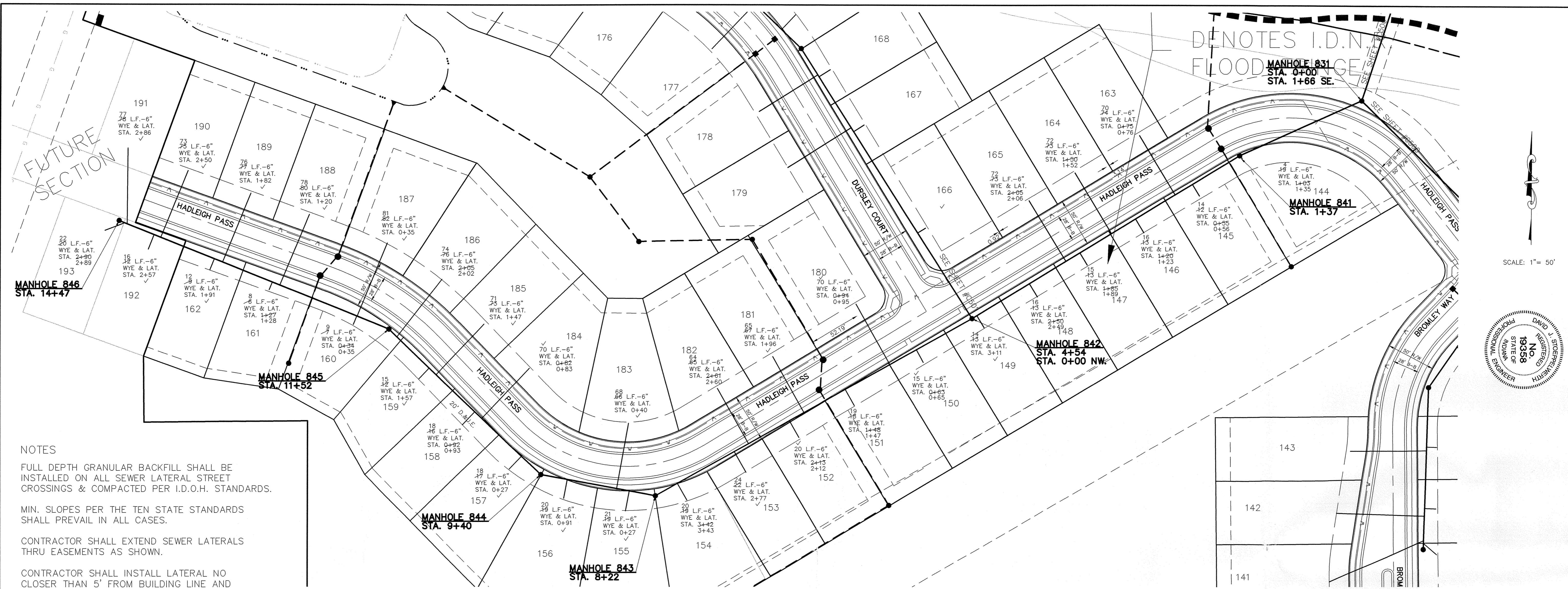


**SANITARY PLAN & PROFILES**  
**MAPLE KNOLL, SECTION TWO**  
 WESTFIELD INDIANA

SHEET NO.  
**C500**  
 JOB NO. 34676PLA-S

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**NOTES**

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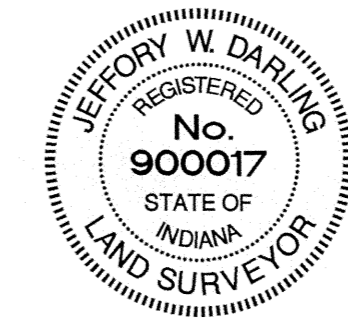
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# RECORD DRAWING

*Jeffrey W. Darling*  
 JEFFREY W. DARLING  
 Registered Land Surveyor  
 No. 900017

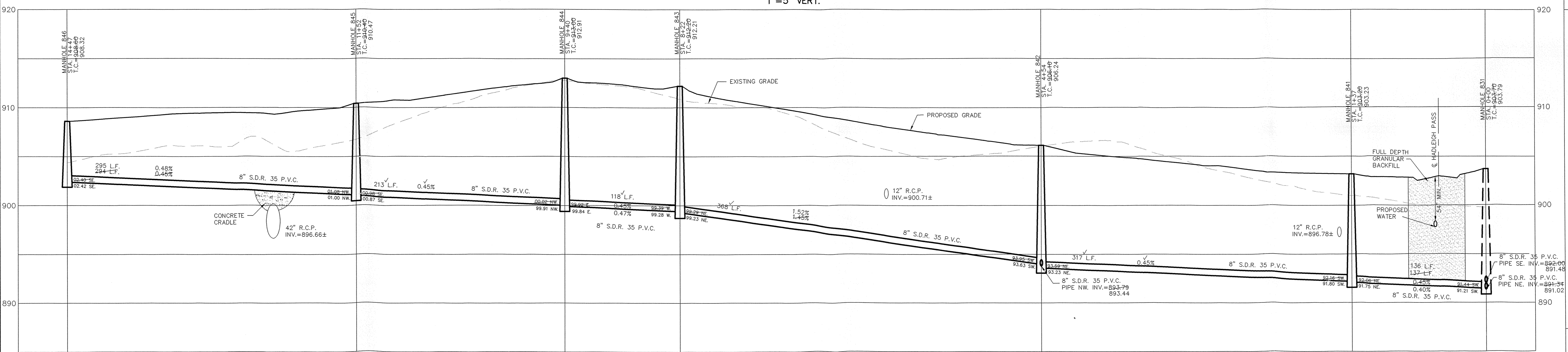
12/06/05  
 DATE



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Entry Date: 2-1-07  
 Entered By: SLM

SCALE: 1"=50' HOR.  
 1"=5' VERT.



DATE: 8/17/04  
 SCALE: 1"=50'  
 REVISIONS: AS BUILT, REV. PER LAYOUT CHANGES AND TAC COMMENTS

CERTIFIED: 8/17/04  
*David J. Stapp*  
 DAVID J. STAPP  
 PROFESSIONAL ENGINEER  
 No. 19358  
 STATE OF INDIANA

CONSULTING ENGINEERS — LAND SURVEYORS  
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 INDIANA  
 FISHERS

SANITARY PLAN & PROFILES  
 MAPLE KNOLL, SECTION TWO  
 WESTFIELD, INDIANA

SHEET NO.  
**C502**

JOB NO. 34676PLA-SZ

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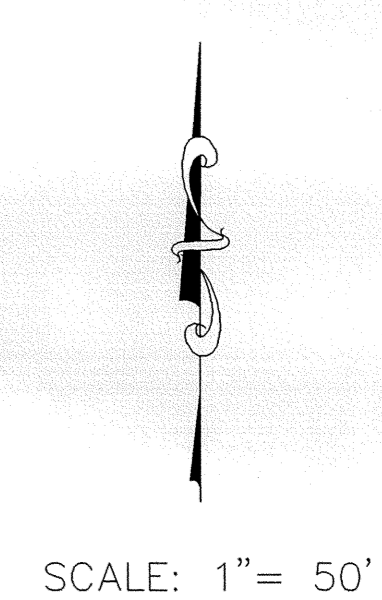
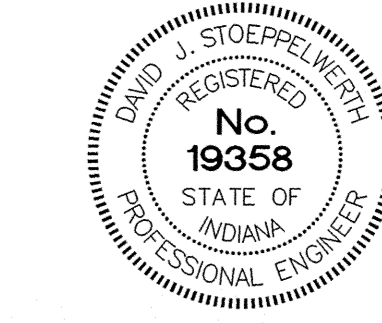
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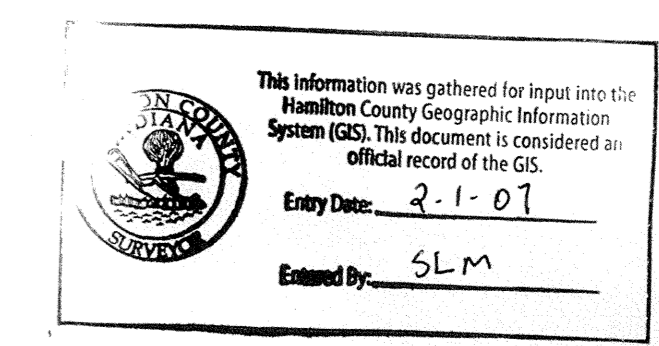
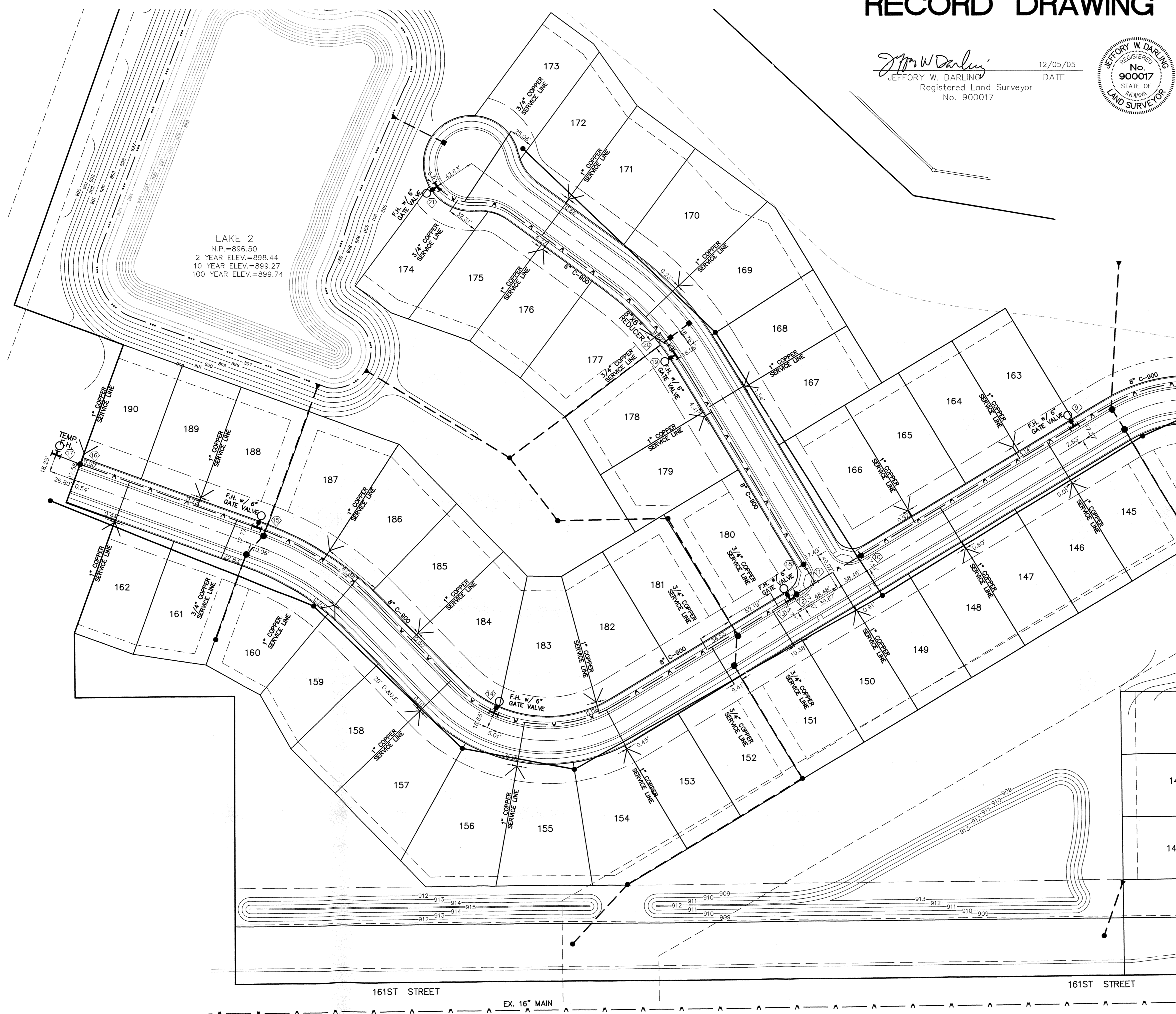


LEGEND	
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	EXISTING HYDRANT
	BUTTERFLY VALVE
	VALVE
	BLOW OFF ASSEMBLY
	PLUG
	REDUCER
	T.J. TEE
	M.J. SLEEVE
	BEND
	KICKER BLOCK
	CASING PIPE
	SYMBOL NUMBER
	GAS LINES
	TELEPHONE LINES
	ELECTRIC LINES

- NOTES:
- C900 TO BE USED FOR ALL WATER MAIN INSTALLATIONS. 8" OR LESS.
  - ALL FIRE HYDRANTS SHALL HAVE A FIVE (5) INCH STORZ'S CONNECTION (MUELLER MODEL 290220 FOR CASTING AND 290221 CAP OR COMPARABLE TOO AND APPROVED BY WPWD). FIRE HYDRANTS SHALL BE PLACED PER THE DIRECTION OF WESTFIELD FIRE DEPARTMENT
  - ALL VALVES TO BE POSI CAP INSTALLED.
  - C900 PIPE SHALL BE SADDLE TAPPED, AND BEDDED WITH 6" WATER PIPE AND 12" OVER PIPE WITH SAND. MARKING TAPE MUST BE INSTALLED 2' ABOVE THE WATER MAIN. #12 GAUGE LOCATING WIRE SHALL BE TAPED TO TOP OF MAIN AND PULLED THROUGH ALL VALVE BOXES.
  - ALL SERVICE LINES TO BE STUBBED 2 FT. BEHIND SIDEWALKS
  - ALL FIRE HYDRANTS TO BE PAINTED WITH 2 COATS OF M.A.B. "FIRE PROTECTION RED ("7068") AFTER INSTALLATION.
  - THERE IS TO BE NO WATERMAIN VALVES PLACED WITHIN THE STREETS.



SCALE: 1" = 50'



**"HOLEY MOLEY" SAYS:**  
  
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE. (including, but not limited to, manholes, lines, valves, & marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

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 CALL TOLL FREE  
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 FOR CALLS OUTSIDE OF INDIANA

CERTIFIED: 8/17/04  
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 (317) 849-5935 1-800-728-6917 FAX: (317) 849-5942  
 INDIANA  
 FISHERS  
 PELMERTH CONSULTING ENGINEERS  
 WATER PLAN  
 MAPLE KNOLL, SECTION TWO  
 WESTFIELD INDIANA  
 SHEET NO. C700  
 JOB NO. 34676PLA-S2

# RECORD DRAWING

*Jeffery W. Darling*  
 JEFFERY W. DARLING  
 Registered Land Surveyor  
 No. 900017

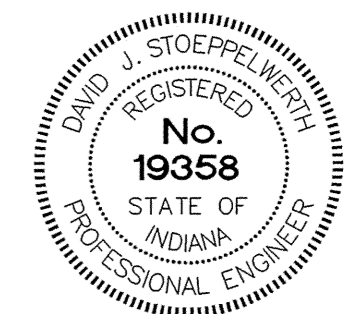
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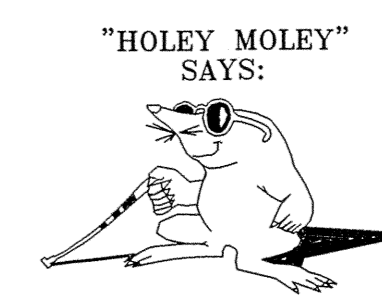
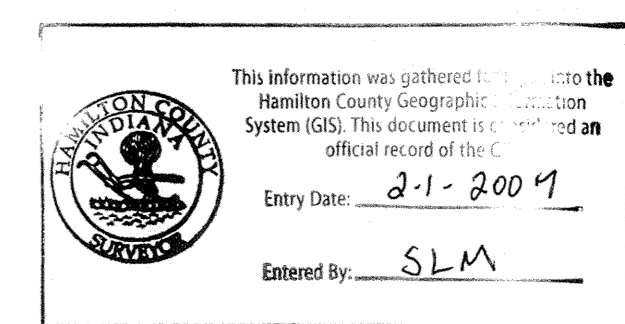
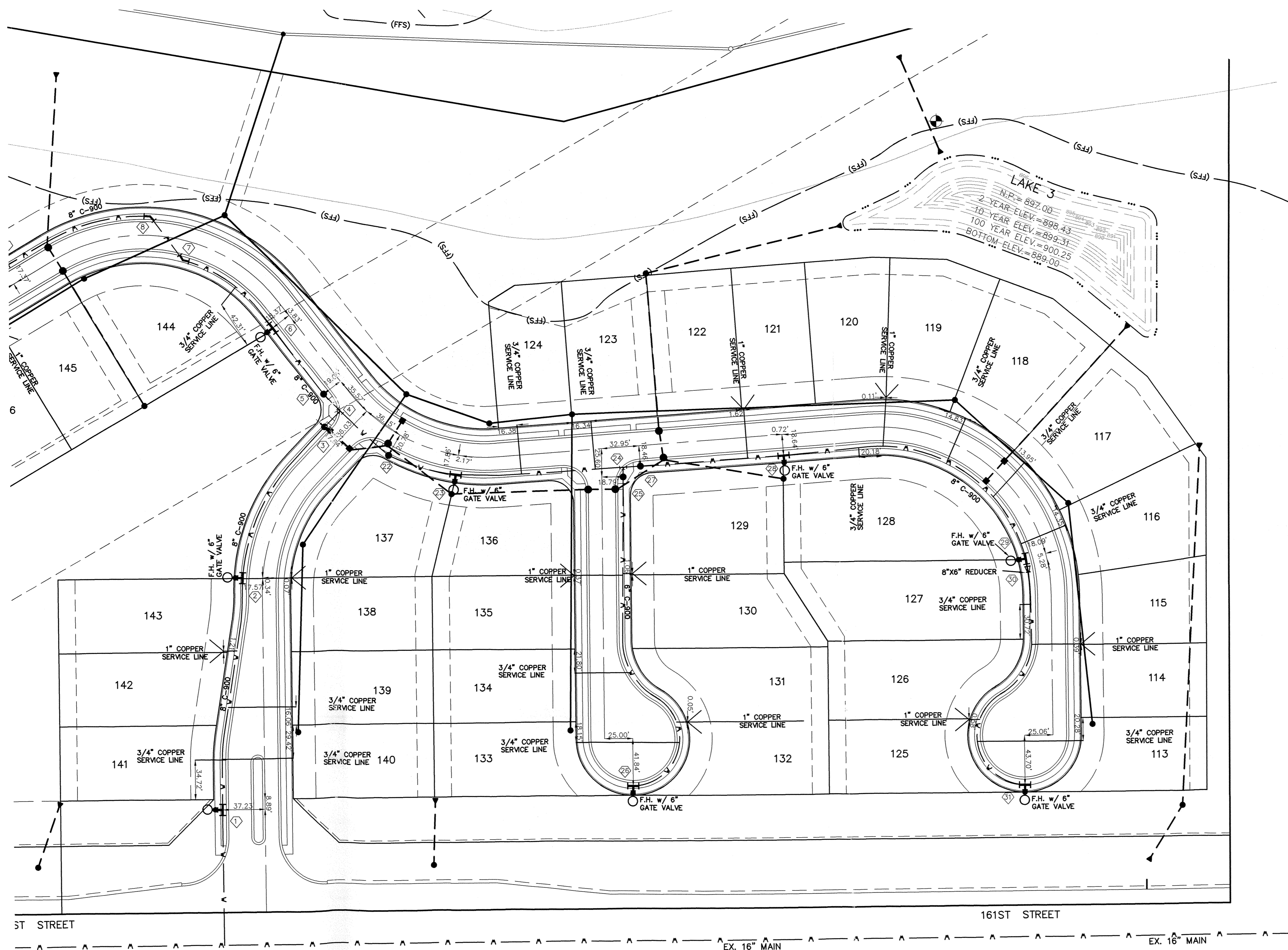
LEGEND	
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	EXISTING HYDRANT
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	BLOW OFF ASSEMBLY
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SCALE: 1" = 50'



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 INDIANA  
 FIBERS  
 WATSON & ASSOCIATES, INC.  
 INDIANA  
 WATER PLAN  
 MAPLE KNOLL, SECTION TWO  
 WESTFIELD  
 SHEET NO.  
**C701**  
 JOB NO. 34676PLA-S2

DATE	BY	REVISIONS
8/17/04	BAH	REV. PER LAYOUT CHANGES AND TAC COMMENTS
12/06/05	EEF	REVISED PER DEVELOPER REQUEST
12/27/05	EEF	REV. PER LAYOUT CHANGES AND TAC COMMENTS
10/22/06	EEF	REV. PER LAYOUT CHANGES AND TAC COMMENTS

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